

# **PLANNING COMMITTEE ADDENDUM Presentation D**

**2.00PM, WEDNESDAY, 9 MARCH 2022**

**COUNCIL CHAMBER, HOVE TOWN HALL**

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# ADDENDUM

ITEM		Page No.
D	BH2021/01731 - Brighton and Hove Bus Garage, 43 Conway Street, Hove - Full Planning	1 - 24

**Brighton And Hove Bus  
Garage, 43 Conway Street  
BH2021/01731**



**Brighton & Hove  
City Council**

# Application Description

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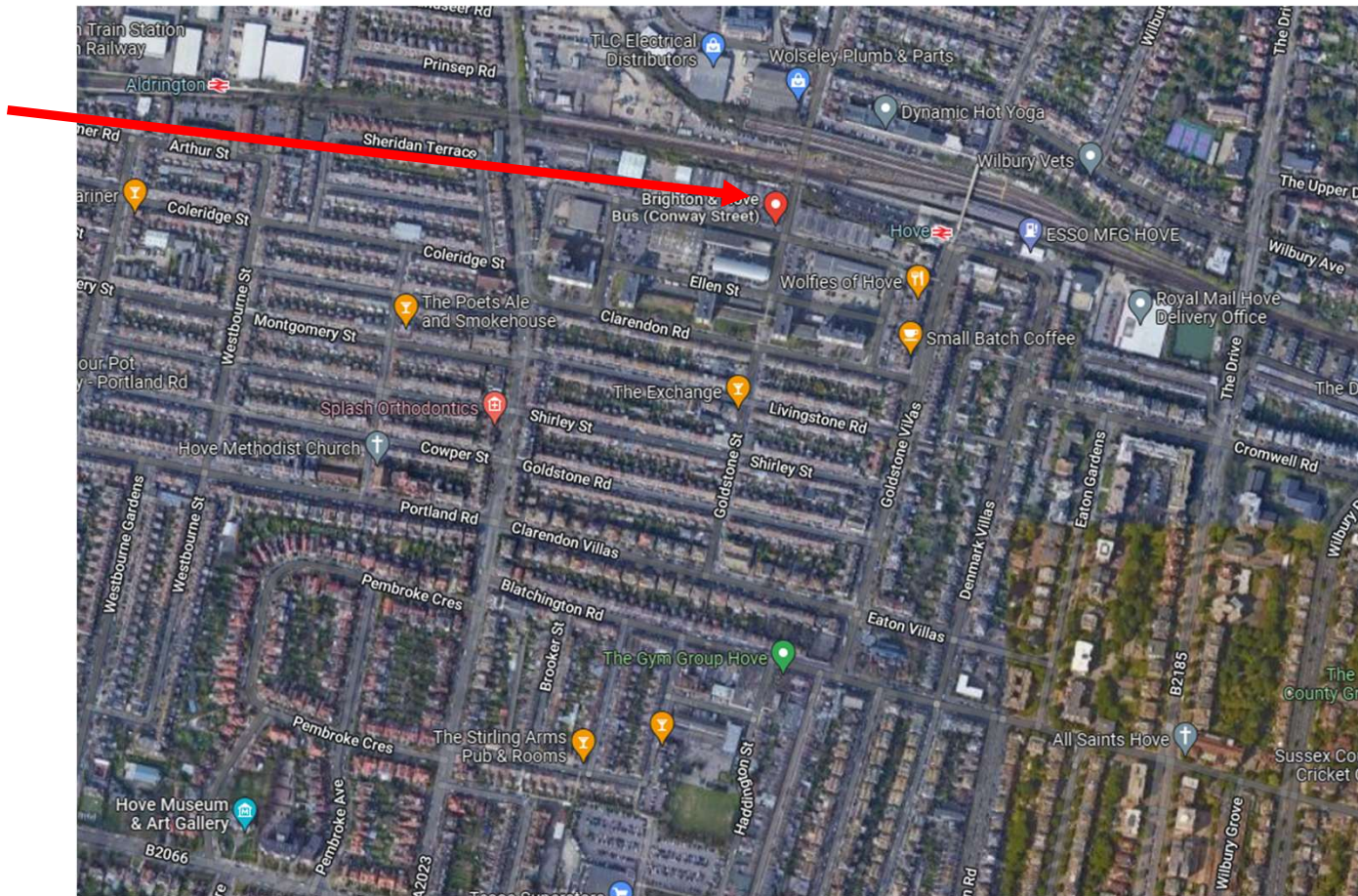
Demolition of existing buildings and the erection of new four storey bus garage building including office and engineering floorspace, external bus parking provision and new boundary treatment



Brighton & Hove  
City Council

# Location of application site

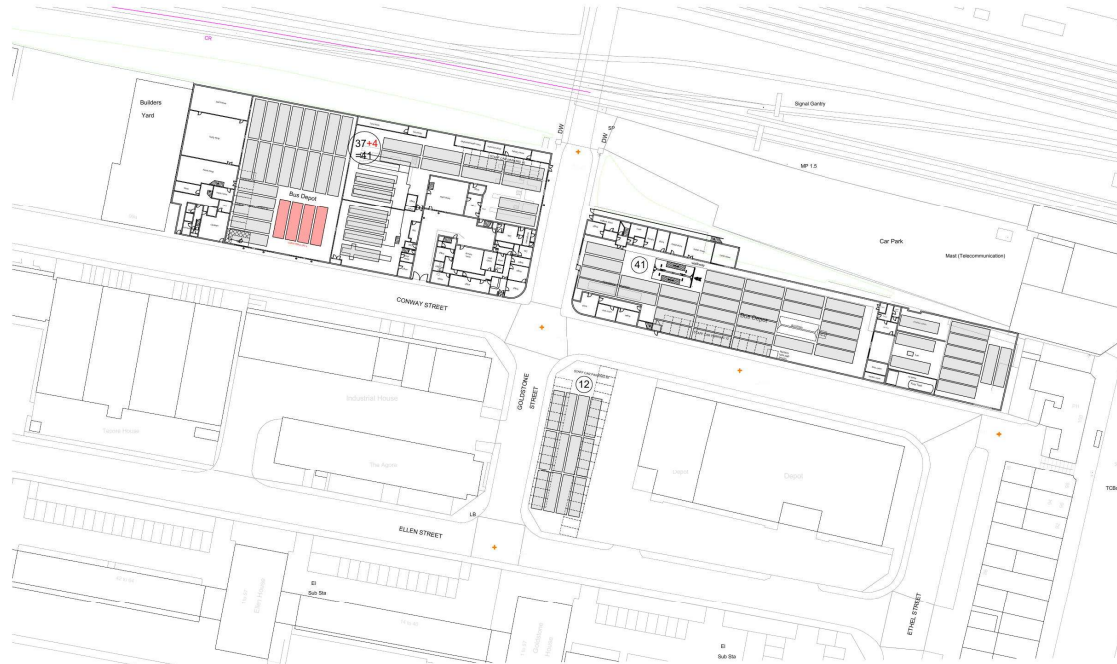
Site



# Existing Location Plan

BUS VEHICLES PARKED	
West Garage	41
East Garage	41
Goldstone Street	12
TOTAL	94

STAFF CAR PARKING	
West Garage	18
East Garage	12
Goldstone Street	35
TOTAL	67



1:500 EXISTING SITE PLAN  
EXISTING

1:500 0 10 20 30 40 50

Notes  
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All dimensions shown are in millimetres, unless otherwise stated. Any use of these dimensions, other than for general reference, should be the subject of third party checking on site.

Any work that is carried out on the basis of this drawing should be carried out to all relevant British Standards and associated manufacturer's instructions / recommendations.

Rev: 1 Date: 14.05.21 Description: Scope for added

Project Number: 20 002 Drawing Number: E 100

Rev: 01

Scale: 1:500@A1 Date: 22.01.2021

Site: A1 Drawn By:

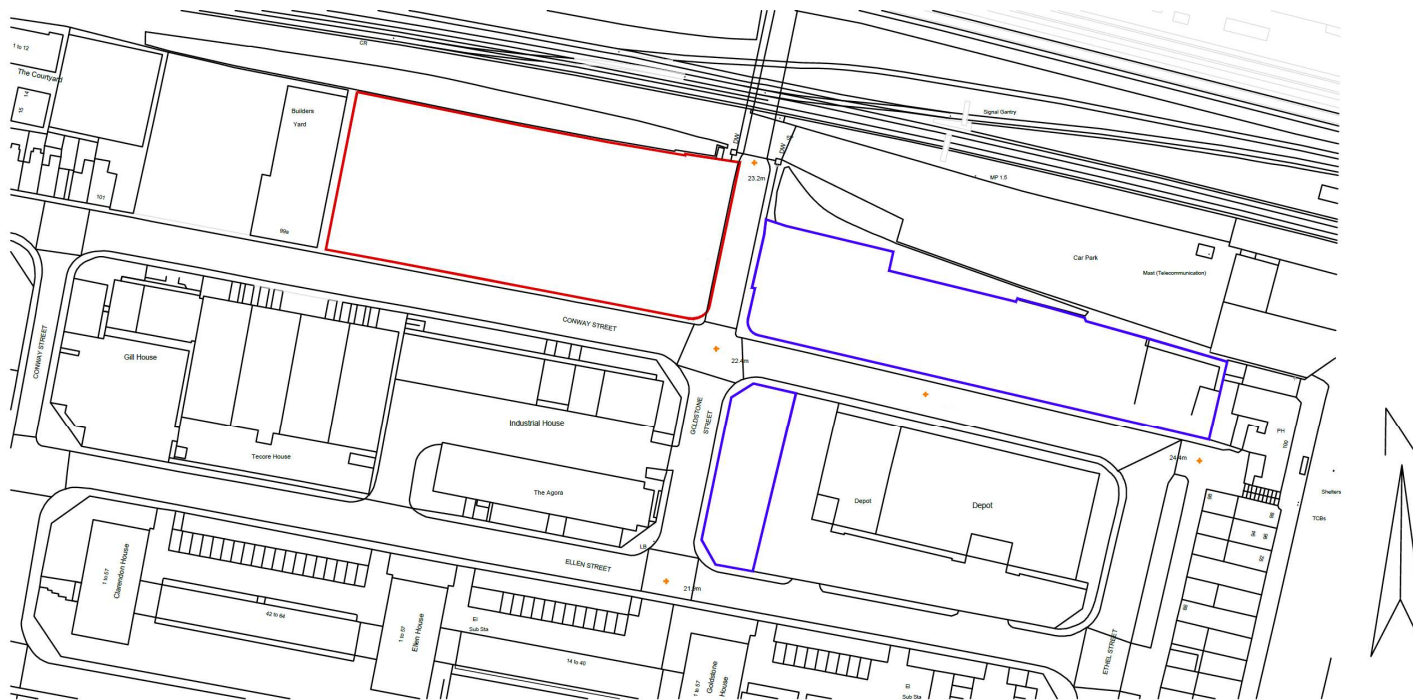
Site Address: CONWAY STREET, HOVE

Title: EXISTING SITE PLAN





# Proposed Location Plan

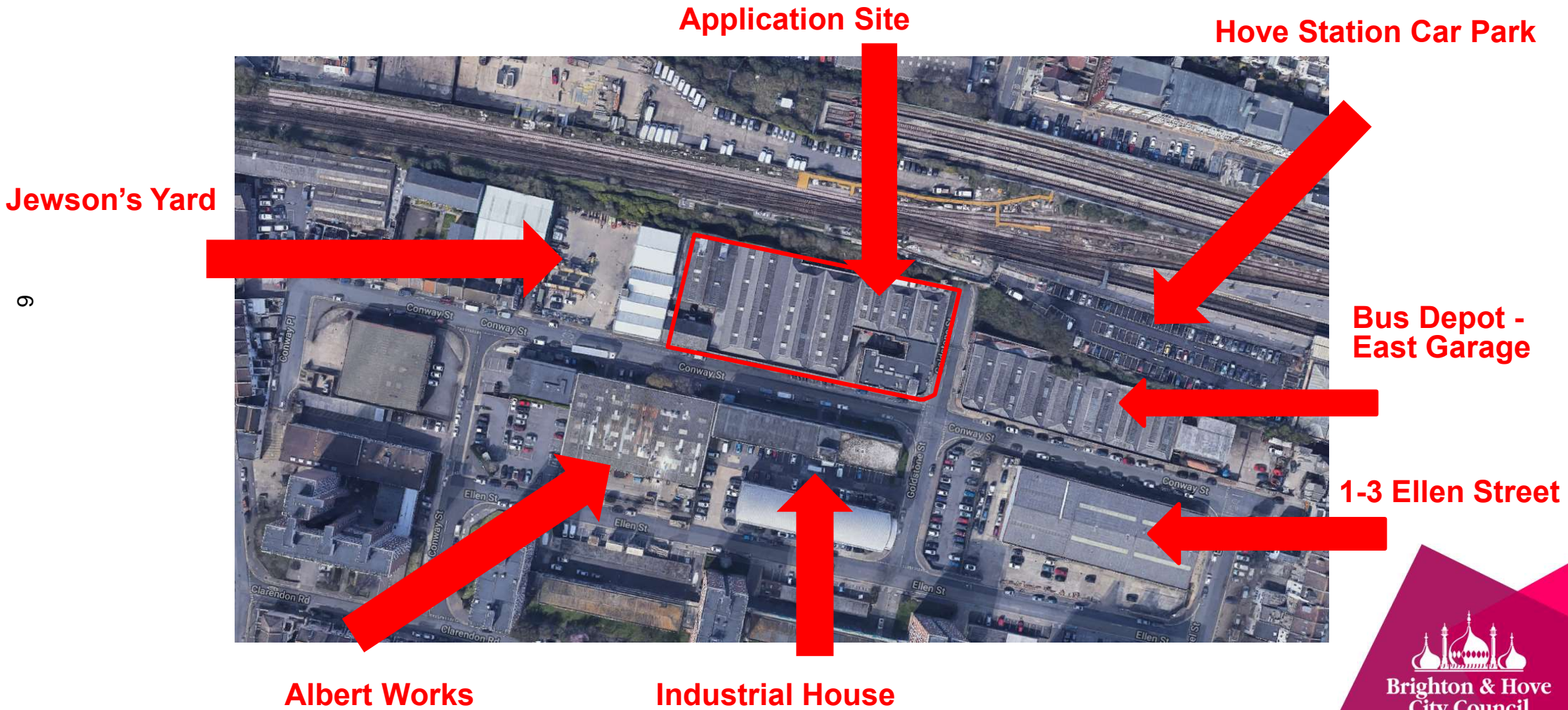


1  
OS 50

1:1250 CONWAY STREET PROPOSED SITE PLAN  
PROPOSED

OS50 REV 00

# Aerial photo(s) of site





# 3D Aerial photo of site



Brighton & Hove  
City Council



# Street photo (Fonthill Road)



# Street Photo (Conway Street)



Google



# Neighbouring Sites to West



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# Applicant Contextual Analysis

Brighton and Hove Buses: Hove West Garage redevelopment

Photographs of surrounding building context



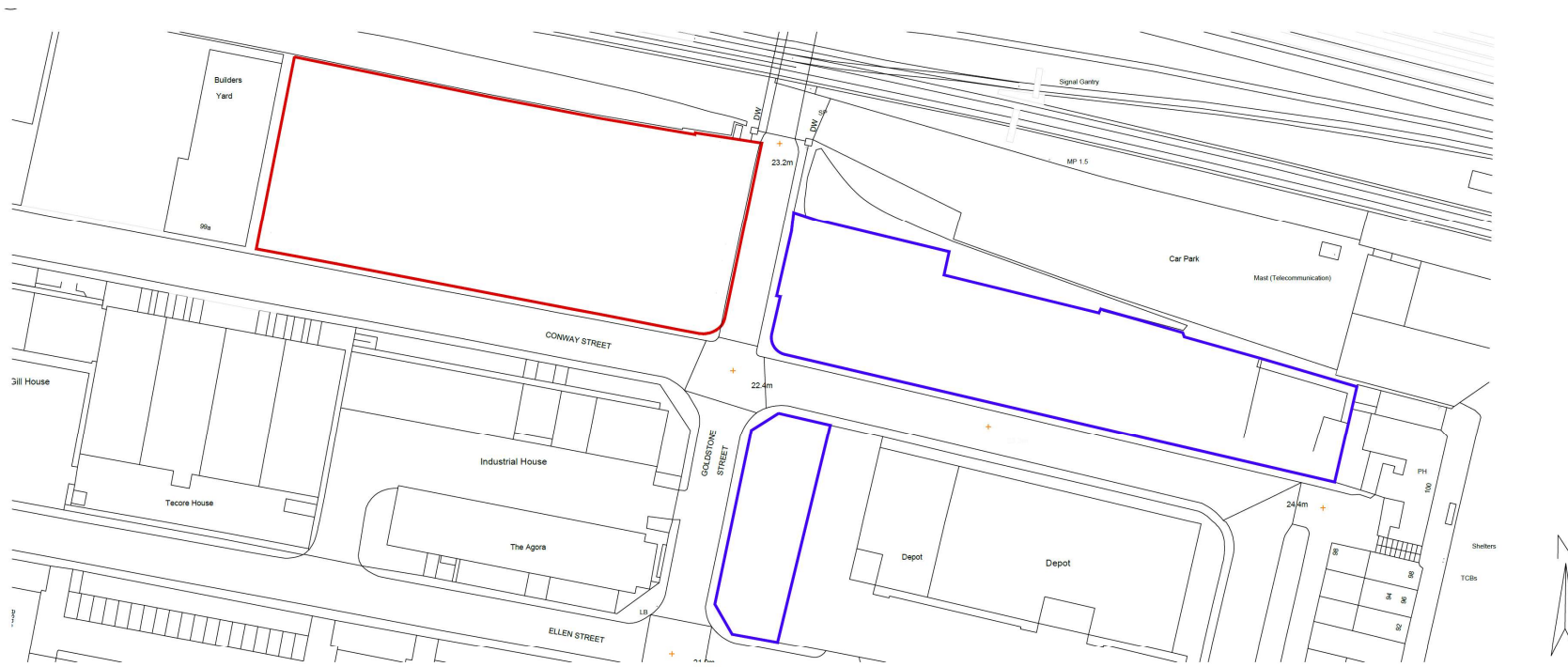
Photographic detail. Shot by P Dines Gerald Eve, Canon eos 6D 17-124mm lens & 11 2021 09:30 internal no additional lighting



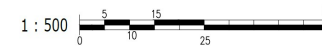
Brighton & Hove  
City Council

# Proposed Block Plan

12



1  
OS 50  
1:500 CONWAY STREET PROPOSED SITE PLAN  
PROPOSED



OS50 REV 00

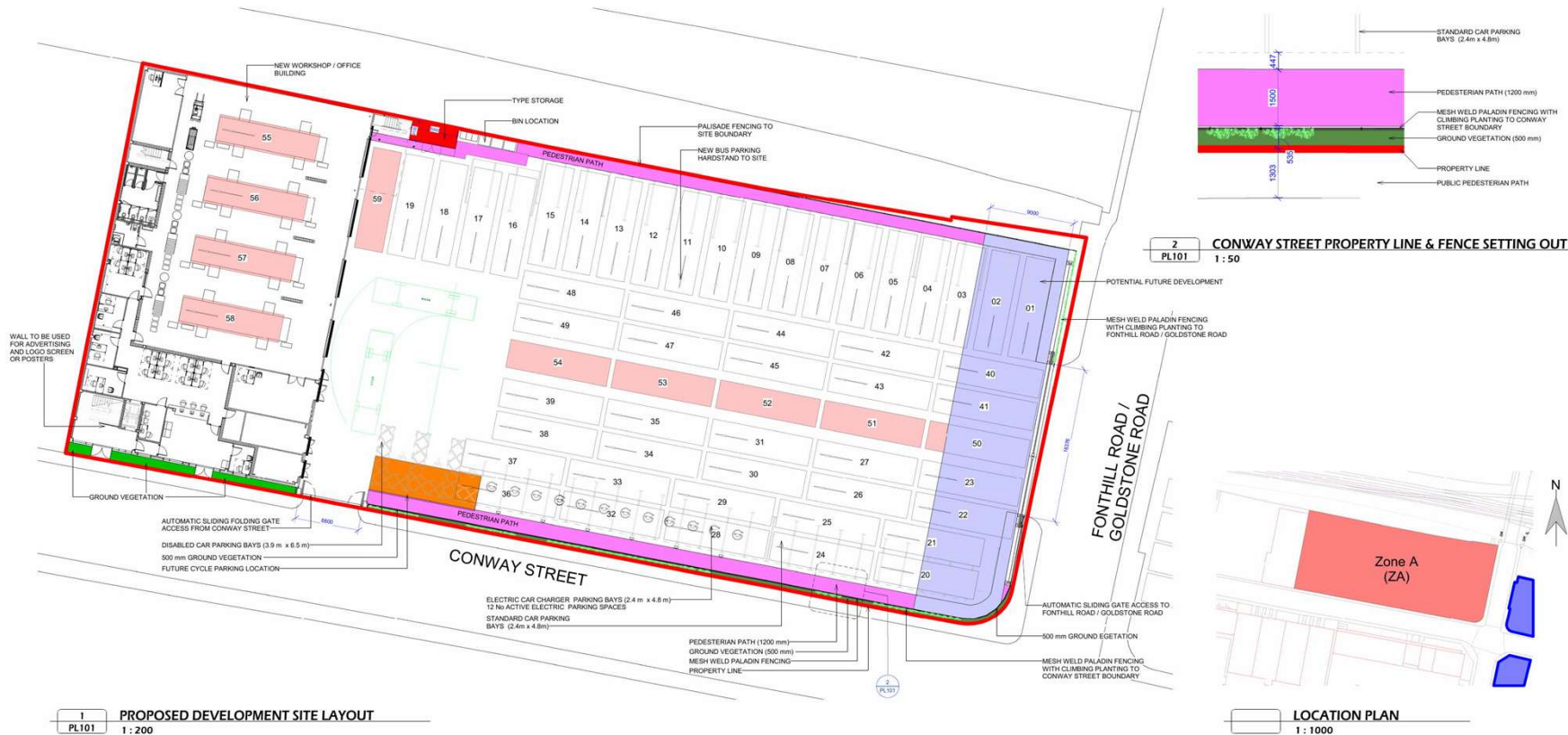


# Proposed Site Layout

**NOTE :** BUS FOOTPRINT BASE ON  
L10800 mm x W3000 mm  
500 mm BETWEEN BUS LENGTHS  
700 mm BETWEEN BUS WIDTH

BUS VEHICLES PARKED	
West Garage	49
West Garage on circulation route	6
Parking on Workshop bay	4
<b>TOTAL</b>	<b>59</b>

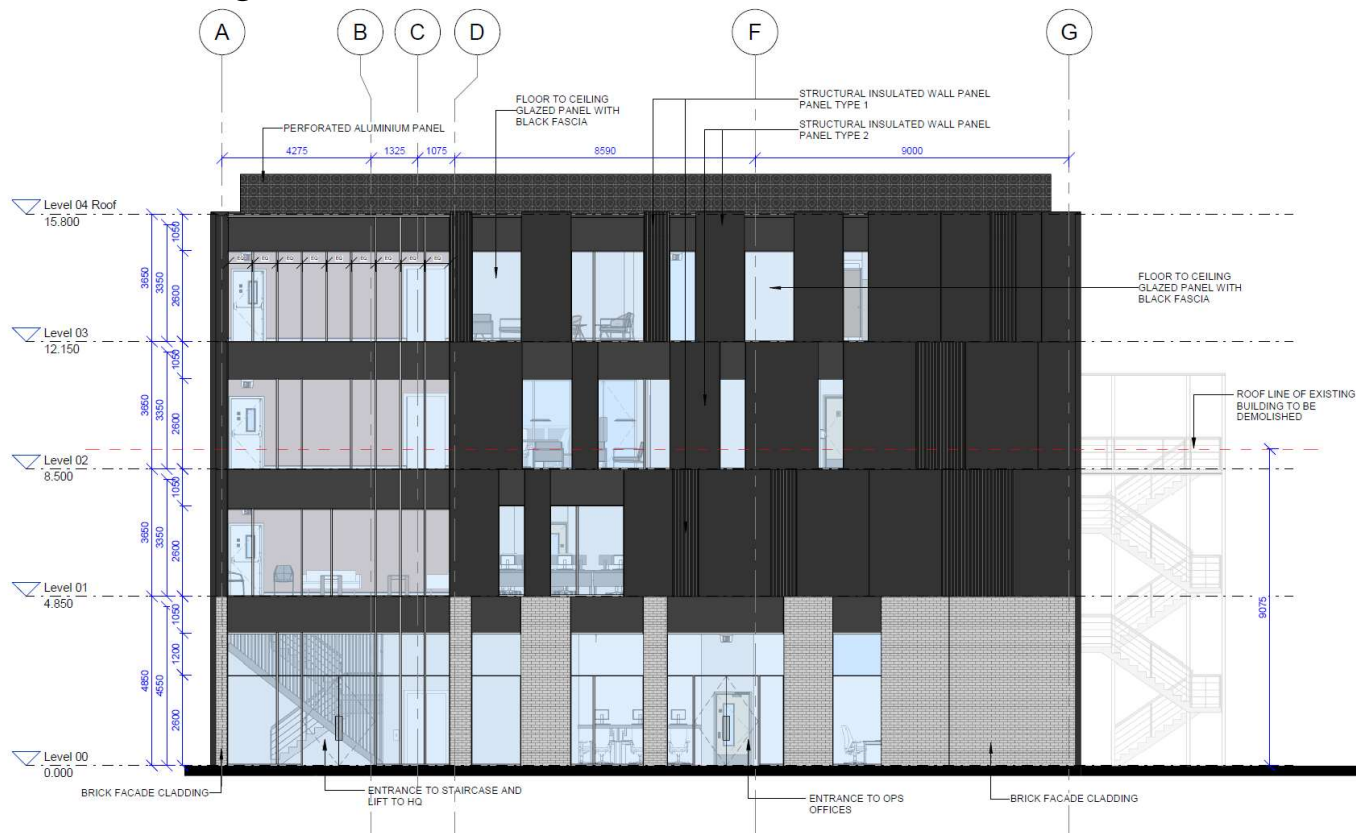
DEVELOPMENT FOOTPRINT	
Site Development Gross Area	4217,36 m <sup>2</sup>
Hardstand Area	3198,26 m <sup>2</sup>
Proposed Building Ground Level	1011,70 m <sup>2</sup>







# Proposed South Elevation (Conway Street)



1 SOUTH ELEVATION  
PL200 1:100

PL200-P2



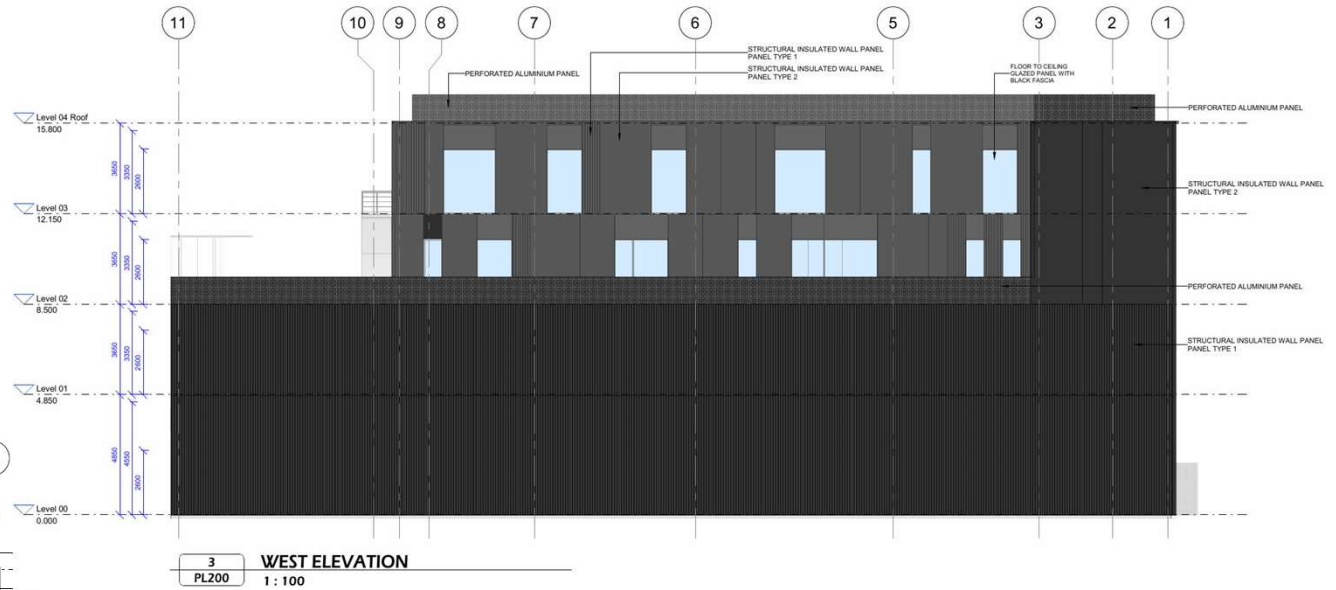
# Proposed East Elevation



16

ID

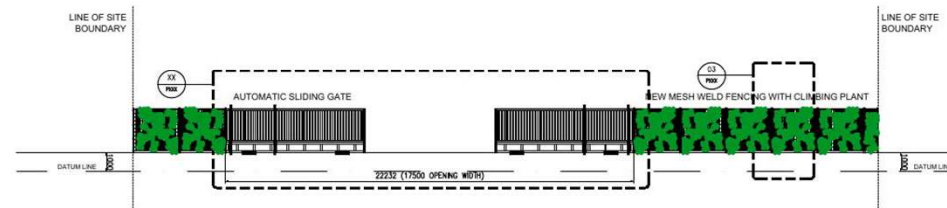
# Proposed North and West Elevations



# Proposed Street Elevations



1 SITE ELEVATION CONWAY STREET  
PL212 1:200



4 1:200 GOLDSTONE ROAD  
201 PROPOSED

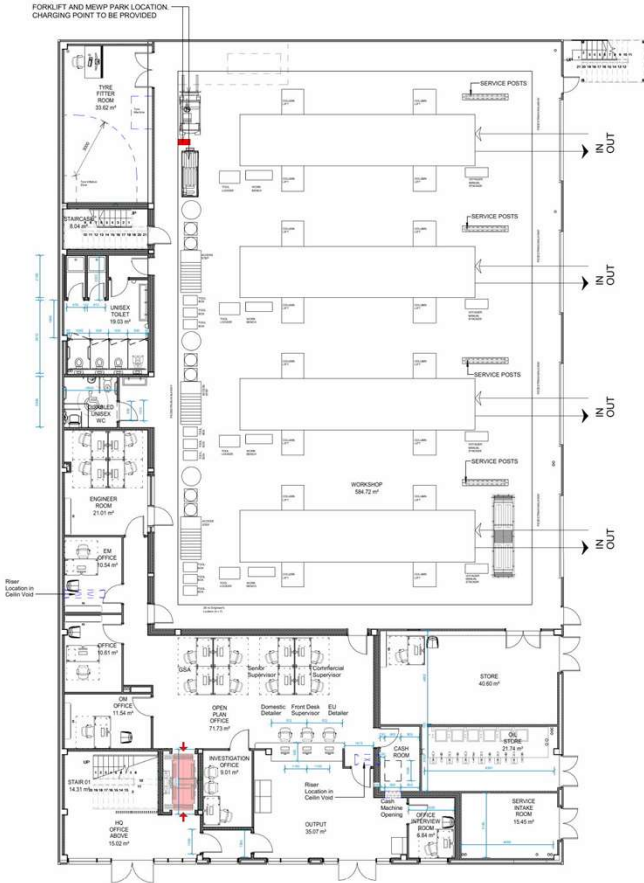


# Proposed Building Visual

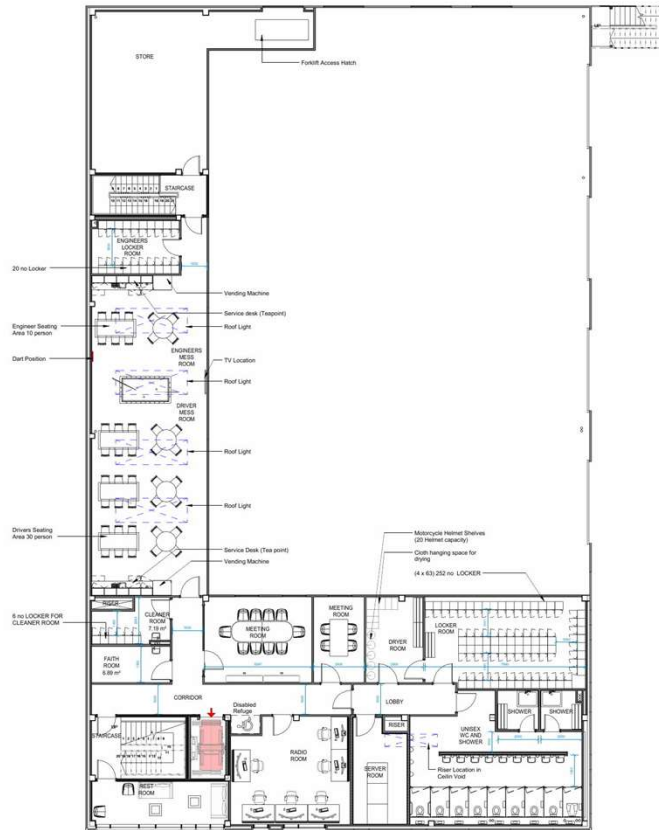


# Proposed Floor Plans

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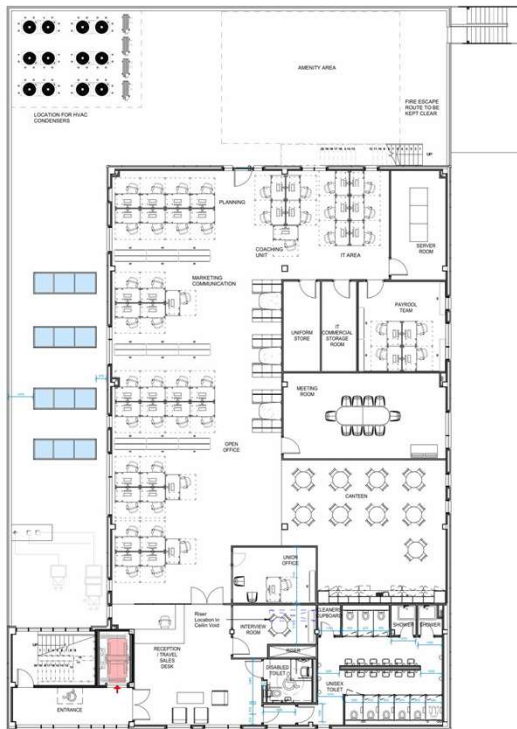
1 PROPOSED GROUND FLOOR PLAN  
PL102 1 : 100



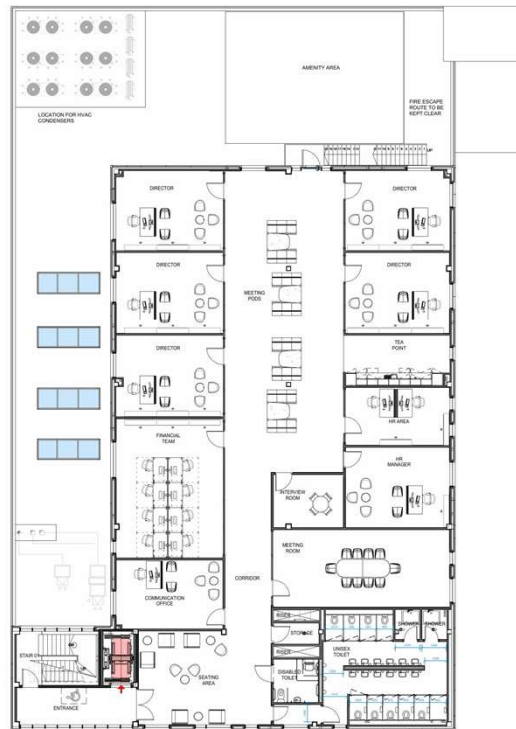
2 PROPOSED FIRST FLOOR PLAN  
PL102 1 : 100

# Proposed Floor and Roof Plans

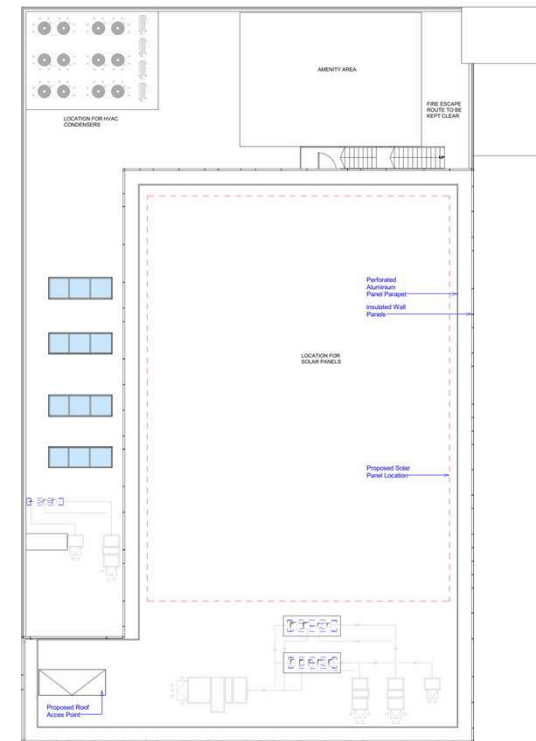
21



1 PROPOSED HQ - SECOND FLOOR PLAN  
PL103 1:100



2 PROPOSED HQ - THIRD FLOOR PLAN  
PL103 1:100



1 PROPOSED ROOF PLAN  
PL104 1:100

# Key Considerations in the Application

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The main considerations in the determination of this application relate to:

- The principle of the development
- Impact on character and importance of nearby locally listed heritage assets and the wider area
- Impacts upon neighbouring amenity including noise/disturbance
- Sustainable drainage
- Air quality
- Sustainability
- Landscaping
- Ecology
- Traffic implications.



# S106 table

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## Travel Plan

To promote safe, active and sustainable travel choices by its future occupiers and visitors.

## Highway Works

Reinstatement of existing footway on Conway Street where existing vehicular access is to be removed

Extension of vehicle access on Fonthill Road

## Employment and Training

Employment and Training Strategies for the provision of local employment opportunities with 20% of any new roles created from the demolition and construction phases of development, at least one month before the intended date of formal commencement of the development.

# Conclusion and Planning Balance

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- Would support objectives for sustainable economic development, compatible with employment priorities for the Hove Station area, would enable the City's bus company to modernise and increase efficiency, supporting the aim to provide a sustainable transport system.
- Would support on-site employment through the servicing of buses and with provision of office floorspace, as well as supporting off-site employment such as bus drivers.
- Design would in general support priorities for the Hove Station area, including improvements to the public realm and green infrastructure.
- The use of open bus parking, for a temporary period (restricted for 10 years by condition), would not result in significant impact on nearby heritage assets, visual amenity, or neighbouring amenity.
- Other factors including impacts relating to neighbour amenity impact, ecology, sustainability, landscaping, flood risk, land contamination, and air quality have been assessed and have been considered acceptable.
- Whilst the proposed scheme would not achieve the long-term ambitions of the draft Masterplan SPD18 regarding active frontage to the east site boundary, it is considered that the scheme would meet short term operational requirements which is acknowledged in SPD18, and would therefore be in broad conformity with the strategy and project timeline set.
- Overall, the scheme is considered acceptable and it is recommended for approval subject to the conditions and s106 requirements set out in this report.

